



Clatsop County

Community Development

800 Exchange Street, Suite 100, Astoria, Oregon 97103

Phone 503 325-8611 Fax 503 338-3606

comdev@clatsopcounty.gov www.clatsopcounty.gov

Grading, Drainage & Erosion Control Plan Review

Fee: \$150 for First Hour; \$100 per additional hour - Permit # _____

Required for land disturbing activities that include any of the following conditions or project components:

- Steep Slopes >20% within the disturbed area
- Retaining Walls >30 inches
- Removal/Fill >30 cubic yards, either imported, removed or relocated on site.
- Wetland Fill >50 cubic yards require a permit from the Oregon Department of State Lands.
- > 3,000 square feet of disturbed area. >one (1) acre of disturbed area requires a 1200-C permit from Oregon DEQ.
- Any new, realigned or relocated roads/culverts for any proposed development. Road Approach Permit # _____
- Proximity to Sensitive areas:
 - Wellheads within 100 feet
 - Streams within 50 feet
 - Proposed Slopes >3:1 and >6 feet in height of fill
 - Any Commercial/Industrial Development
 - Septic drain fields (primary & reserve) within 10 feet
 - Wetlands, mapped or known within 50 feet

Erosion Control Schedule of activities:

Maximum of 45 CY removed from Proposed tower location

Maximum of 28 CY fill/gravel placed on Proposed tower location

Property owner Builder/Contractor/Developer is responsible for placement, monitoring and maintenance of temporary and permanent erosion control measures.

All land clearing, construction, or development involving the movement of earth shall conform to the plan as approved by the Clatsop County Engineer on permit # _____

All transport or materials is via (list roads) _____

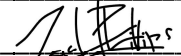
All activities will be completed by date: _____

All Contractors/Builders/Developers must sign this application. Representatives of public agencies, corporations, trusts, etc. must provide documentation of signing authority.

CONTRACTOR(s): Summit Solutions (CCB#: 160656)

Mail Address: PO Box 2676 City/State/Zip Battle Ground, WA 98604

Contact Phone: 360/360-0330 Email: _____

Signature:  w/ Crown Castle Date: 1/3/25

BUILDER/DEVELOPER(s): _____

Mail Address: _____ City/State/Zip _____

Contact Phone: _____ Email: _____

Signature: _____ Date: _____

OFFICE USE ONLY

Property Description – Map ID: 61011CC00101 Site Address: 2329 ROYAL VIEW DR

Project Description: REPLACEMENT CELL TOWER

Zoning: F-80 Overlay District(s): GHO

Plan Elements

A. Site Map drawn to scale and depicting accurate size and distances for the following elements:

1. A scale and north arrow.
2. The location of the development site in relation to the property boundaries.
3. The location of all internal or adjacent roadways and access easements.
4. The location and size of all existing and proposed structures >200 square ft.
5. The location of any lakes, rivers, streams, wetlands, channels, ditches or other watercourses on or near the development site.
6. The direction of surface water flow.

B. Erosion Control Plan containing the following elements:

1. A scale and north arrow.
2. The location of existing vegetation adjacent to any watercourse.
3. Areas where vegetative cover will be retained and the type and location of measures taken to protect vegetation from damage.
4. Areas where vegetative cover will be removed and the location of temporary and permanent erosion control measures to be used including, but not limited to: silt fencing, straw bales, graveling, mulching, seeding, and sodding.
5. Indication of slope steepness, by degree, percentage or ratio. Include gradient of surface water flow.
6. The general slope or terrain characteristics of adjacent property.
7. Location of the construction access driveway(s) and vehicle parking area(s).
8. Location of soil/fill stockpiles.
9. Location of existing and proposed buildings, including locations of downspouts.

Public Works Reviewer Signature: 

Name: Dean Keranen Date: 1/10/25

Approved Approved with Conditions Denied

Inspection Required prior to Building Codes Final: YES NO

1. Install silt fence as indicated on the erosion control plan for the project.
2. Prior to discontinuing grading activities on the site between October 1 and May 31, any exposed areas shall be stabilized within 7 days to prevent erosion. Between June 1 and September 30 the site must be stabilized with 30 days. Stabilization can be done by applying appropriate cover (e.g., mulch, erosion control blankets, binders, tackifiers, road surface) or by establishing adequate vegetative cover. If stabilization cannot be done within the time limits, a silt fence shall be installed downhill of the disturbed area and stabilization procedures shall be done as soon as possible. Per County Code, areas having slopes greater than 12 percent should be stabilized with mulch, sod, mat or blanket in combination with seeding, or equivalent.



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<input type="checkbox"/> Development Permit	Fee \$85	<input type="checkbox"/> Flood Review	Fee \$110	<input type="checkbox"/> Geologic Hazard Review	Fee \$85
		<input type="checkbox"/> Flood Renewal	Fee \$50		
<input checked="" type="checkbox"/> Grading, Drainage, Erosion Control	Fee \$150	<input type="checkbox"/> Road Approach	Fee \$0	<input type="checkbox"/> Address Fee \$225	<input type="checkbox"/> Road Name Fee \$265
<input type="checkbox"/> Other – Description	Fee \$	Total Due \$			

All owners of record, per Clatsop County Assessment records, **must sign the application**.

Representatives of public agencies, corporations, trusts, etc. must provide documentation of signing authority (Power of Attorney, Trust Document, etc.).

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Project Description: Replace existing cell tower with new taller tower for collocation of additional carriers.

Property Address 2329 Royal View Dr., Seaside, OR 97110

Owner: City of Seaside
 Address: 989 BROADWAY
 Phone: 503/738-5511

Email: skyle@cityofseaside.us
 City/State/Zip: Seaside, OR 97138
 Phone: _____
 Date: 8/12/2024 | 3:47:54 PM PDT

Signature: 

Owner: Crown Castle
 Address: _____
 Phone: _____

Email: _____
 City/State/Zip: _____
 Phone: _____
 Date: _____

Signature: _____

Applicant/Other: Zach Phillips w/Crown Castle
 Address: 1842 SW Lobelia St.
 Phone: 503/-708-9200

Email: zach.phillips@crowncastle.com
 City/State/Zip: Portland, OR 97219
 Phone: _____
 Date: 4/8/24

Signature: 

OFFICE USE ONLY

Base Zone(s): F-80 Overlay(s): GHO

Map ID(s): 61011CC00101 Acres: 4.29

Contiguous Properties in same ownership: _____

Existing Structures: CELL TOWER

SITE TYPE:
TOWER HEIGHT:
SITE CLASS:

MONOPOLE
50'
MONOPOLE

BUSINESS UNIT #: 827657
SITE ADDRESS: 2329 ROYAL VIEW DRIVE
COUNTY: SEASIDE, OR 97110
JURISDICTION: CLATSOP
CLATSOP COUNTY

BU #: 827657
SEASIDE NORTH

2329 ROYAL VIEW DR
SEASIDE, OR 97110

50' MONOPOLE DROP
AND SWAP

GPD JOB #: 2022724.90.827657.01

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
A	08/05/2022	JA	PRELIMINARY	BML
B	08/10/2022	JA	REVISED TOWER LOCATION	BML
C	10/28/2022	JA	ADDED CARRIER EQUIPMENT	BML
0	09/13/2024	JA	ISSUED FOR CONST.	BML

SITE INFORMATION

CROWN CASTLE USA INC. SEASIDE NORTH
SITE NAME:
SITE ADDRESS: 2329 ROYAL VIEW DRIVE
SEASIDE, OR 97110
COUNTY: CLATSOP
MAP/PARCEL #: 61011CC00101
AREA OF CONSTRUCTION: EXISTING
LATITUDE: 46° 00' 45.8"
LONGITUDE: -123° 53' 44.9"
LAT/LONG TYPE: NAD83
GROUND ELEVATION: 180.0' (AMSL)
CURRENT ZONING: FOREST F-80
JURISDICTION: CLATSOP COUNTY
OCCUPANCY CLASSIFICATION: U
TYPE OF CONSTRUCTION: IIB
A.D.A. COMPLIANCE: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION
PROPERTY OWNER: CITY OF SEASIDE
989 BROADWAY
SEASIDE, OR 97138
TOWER OWNER: CROWN CASTLE
2000 CORPORATE DRIVE
CANONSBURG, PA 15317
ELECTRIC PROVIDER: PACIFICORP
TELCO PROVIDER: CENTURYLINK

DRAWING INDEX

SHEET #	SHEET DESCRIPTION
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T-4	GENERAL NOTES
C-1	EXISTING OVERALL SITE PLAN
C-1.1	PROPOSED OVERALL SITE PLAN
C-2	EXISTING COMPOUND PLAN
C-2.1	PROPOSED COMPOUND PLAN
C-2.2	EROSION CONTROL PLAN
C-2.3	EXISTING SIGNAGE
C-3	TOWER ELEVATIONS
C-4	ANTENNA PLANS
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C-7	EQUIPMENT DETAILS
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G-5	ANTENNA GROUNDING PLAN

LOCATION MAP



SITE PHOTO



NOTES

- GROUND SCOPE OF WORK IS LOCATED ON C-2.1.
- TOWER SCOPE OF WORK IS LOCATED ON C-3.
- ALL DRAWINGS CONTAINED HEREIN ARE FORMATTED FOR 22X34. CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.
- PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE CROWN NOC AT (800) 788-7011 & CROWN CONSTRUCTION MANAGER.

APPLICABLE CODES/REFERENCE DOCUMENTS

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

CODE TYPE	CODE
BUILDING	2022 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
MECHANICAL	2022 OREGON MECHANICAL SPECIALTY CODE (OMSC)
ELECTRICAL	2023 OREGON ELECTRICAL SPECIALTY CODE (OESC)

PROJECT TEAM

A&E FIRM: GPD ENGINEERING AND ARCHITECTURE
PROFESSIONAL CORPORATION
520 SOUTH MAIN STREET, SUITE 2531
AKRON, OH 44311
(330) 572-2100

CROWN CASTLE USA INC. DISTRICT CONTACTS:
370 MALLORY STATION RD., SUITE 305
FRANKLIN, TN 37067
RYAN QUINTEL - PROJECT MANAGER
RYAN.QUINTEL@CROWNCastle.COM



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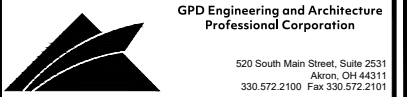
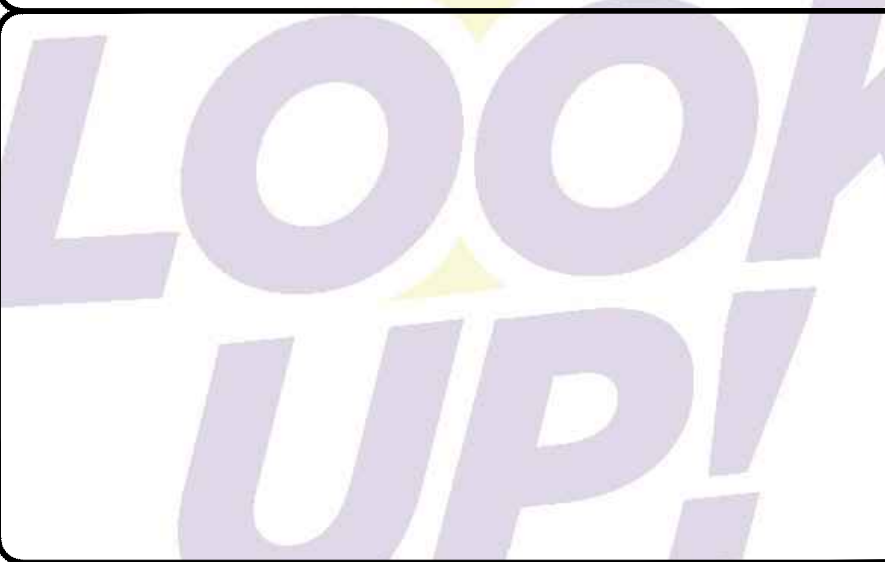
SHEET NUMBER: T-1
REVISION: 0

CROWN CASTLE USA INC. SITE ACTIVITY REQUIREMENTS:

1. NOTICE TO PROCEED- NO WORK SHALL COMMENCE PRIOR TO CROWN CASTLE USA INC. WRITTEN NOTICE TO PROCEED (NTP) AND THE ISSUANCE OF A PURCHASE ORDER. PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE CROWN CASTLE USA INC. NOC AT 800-788-7011 & THE CROWN CASTLE USA INC. CONSTRUCTION MANAGER.
2. "LOOK UP" - CROWN CASTLE USA INC. SAFETY CLIMB REQUIREMENT: THE INTEGRITY OF THE SAFETY CLIMB AND ALL COMPONENTS OF THE CLIMBING FACILITY SHALL BE CONSIDERED DURING ALL STAGES OF DESIGN, INSTALLATION, AND INSPECTION. TOWER MODIFICATION, MOUNT REINFORCEMENTS, AND/OR EQUIPMENT INSTALLATIONS SHALL NOT COMPROMISE THE INTEGRITY OR FUNCTIONAL USE OF THE SAFETY CLIMB OR ANY COMPONENTS OF THE CLIMBING FACILITY ON THE STRUCTURE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: PINCHING OF THE WIRE ROPE, BENDING OF THE WIRE ROPE FROM ITS SUPPORTS, DIRECT CONTACT OR CLOSE PROXIMITY TO THE WIRE ROPE WHICH MAY CAUSE FRICTIONAL WEAR, IMPACT TO THE ANCHORAGE POINTS IN ANY WAY, OR TO IMPEDE/BLOCK ITS INTENDED USE. ANY COMPROMISED SAFETY CLIMB, INCLUDING EXISTING CONDITIONS MUST BE TAGGED OUT AND REPORTED TO YOUR CROWN CASTLE USA INC. POC OR CALL THE NOC TO GENERATE A SAFETY CLIMB MAINTENANCE AND CONTRACTOR NOTICE TICKET.
3. PRIOR TO THE START OF CONSTRUCTION, ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE OBTAINED. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, FIRE, FLOOD ZONE, ENVIRONMENTAL, AND ZONING. AFTER ONSITE ACTIVITIES AND CONSTRUCTION ARE COMPLETED, ALL REQUIRED PERMITS SHALL BE SATISFIED AND CLOSED OUT ACCORDING TO LOCAL JURISDICTIONAL REQUIREMENTS.
4. ALL CONSTRUCTION MEANS AND METHODS; INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN, AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION) AND CROWN CASTLE USA INC. STANDARD CED-STD-10253, INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION, TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH ANSI/TIA-322 (LATEST EDITION).
5. ALL SITE WORK TO COMPLY WITH QAS-STD-10068 "INSTALLATION STANDARDS FOR CONSTRUCTION ACTIVITIES ON CROWN CASTLE USA INC. TOWER SITE," CED-STD-10294 "STANDARD FOR INSTALLATION OF MOUNTS AND APPURTENANCES," AND LATEST VERSION OF ANSI/TIA-1019-A-2012 "STANDARD FOR INSTALLATION, ALTERATION, AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS." IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY CROWN CASTLE USA INC. PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
9. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
10. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION E) CONSTRUCTION SAFETY PROCEDURES.
11. ALL SITE WORK SHALL BE AS INDICATED ON THE STAMPED CONSTRUCTION DRAWINGS AND PROJECT SPECIFICATIONS. LATEST APPROVED REVISION.
12. CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
13. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, TOWER OWNER, CROWN CASTLE USA INC., AND/OR LOCAL UTILITIES.
14. THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE REQUIRED BY LOCAL JURISDICTION AND SIGNAGE REQUIRED ON INDIVIDUAL PIECES OF EQUIPMENT, ROOMS, AND SHELTERS.
15. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE CARRIER'S EQUIPMENT AND TOWER AREAS.
16. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
17. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND/OR PROJECT SPECIFICATIONS.
18. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
19. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
20. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
21. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.
22. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

GENERAL NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR: GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION
CARRIER: T-MOBILE
TOWER OWNER: CROWN CASTLE USA INC.
2. THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKPEOPLE WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, FORMWORK, SHORING, ETC. SITE VISITS BY THE ENGINEER OR HIS REPRESENTATIVE WILL NOT INCLUDE INSPECTION OF THESE ITEMS AND IS FOR STRUCTURAL OBSERVATION OF THE FINISHED STRUCTURE ONLY.
4. NOTES AND DETAILS IN THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE GREATER, MORE STRICT REQUIREMENTS, SHALL GOVERN. IF FURTHER CLARIFICATION IS REQUIRED CONTACT THE ENGINEER OF RECORD.
5. SUBSTANTIAL EFFORT HAS BEEN MADE TO PROVIDE ACCURATE DIMENSIONS AND MEASUREMENTS ON THE DRAWINGS TO ASSIST IN THE FABRICATION AND/OR PLACEMENT OF CONSTRUCTION ELEMENTS BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE DIMENSIONS, MEASUREMENTS, AND/OR CLEARANCES SHOWN IN THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION OR CUTTING OF ANY NEW OR EXISTING CONSTRUCTION ELEMENTS. IF IT IS DETERMINED THAT THERE ARE DISCREPANCIES AND/OR CONFLICTS WITH THE CONSTRUCTION DRAWINGS THE ENGINEER OF RECORD IS TO BE NOTIFIED AS SOON AS POSSIBLE.
6. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CROWN CASTLE.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
9. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
10. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CARRIER AND CROWN CASTLE PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
11. CONTRACTOR IS TO PERFORM A SITE INVESTIGATION AND IS TO DETERMINE THE BEST ROUTING OF ALL CONDUITS FOR POWER, AND TELCO AND FOR GROUNDING CABLES AS SHOWN IN THE POWER, TELCO, AND GROUNDING PLAN DRAWINGS.
12. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF CROWN CASTLE USA INC.
13. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
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 AND SWAP

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SHEET NUMBER: REVISION:

T-2 0

SITE PLAN DISCLAIMER:
 PROPERTY LINES AND STRUCTURES HAVE BEEN DIGITIZED FROM PREVIOUS PLAN SETS OR FROM GIS MAPS. GPD GROUP HAS NOT COMPLETED A SITE SURVEY AND THEREFORE MAKES NO CLAIMS AS TO THE ACCURACY OF INFORMATION DEPICTED ON THIS SHEET.

CROWN CASTLE
 1500 CORPORATE DRIVE
 CANONSBURG, PA 15317

GPD Engineering and Architecture Professional Corporation
 520 South Main Street, Suite 2531
 Akron, OH 44311
 330.572.2100 Fax 330.572.2101

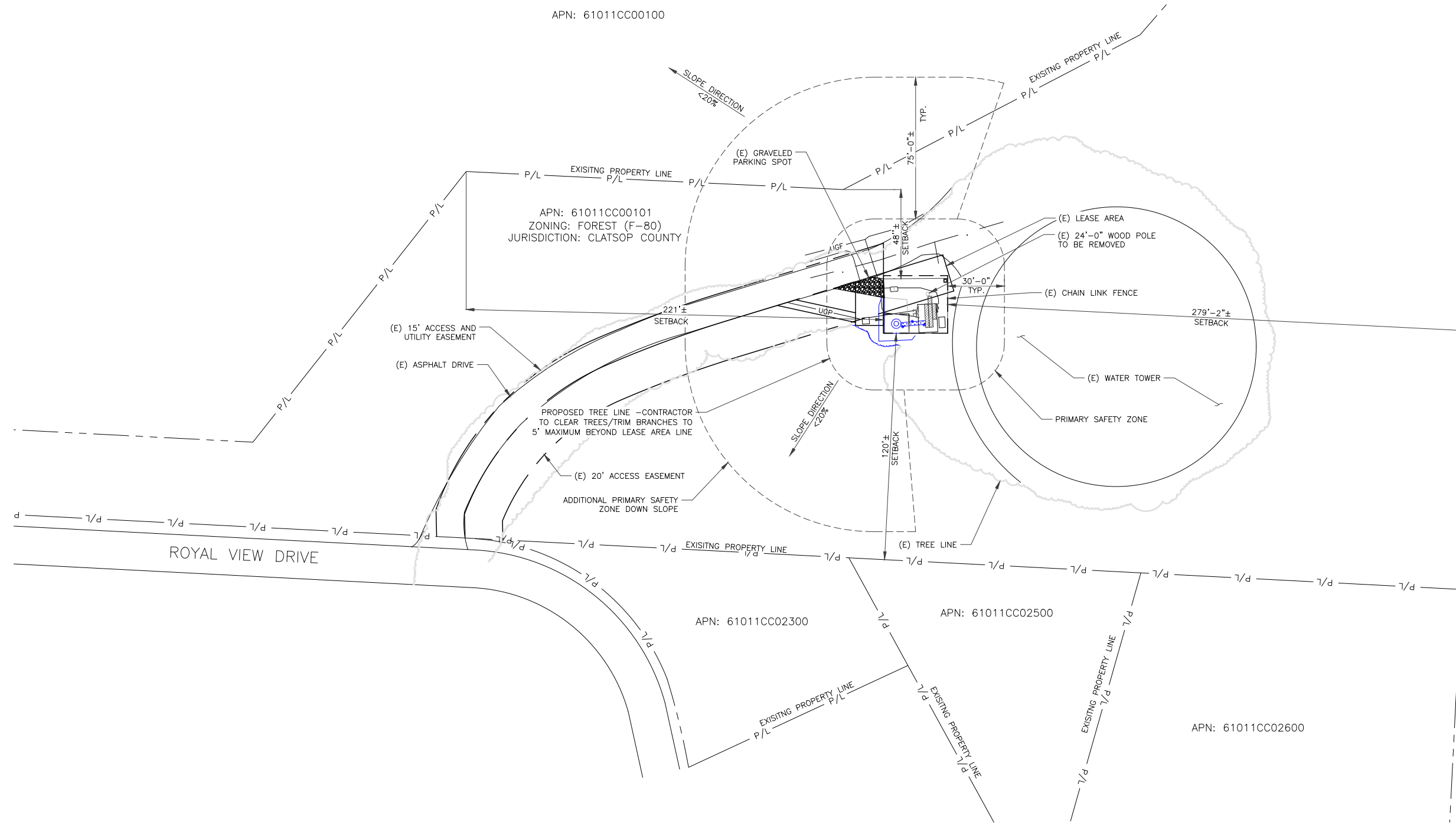
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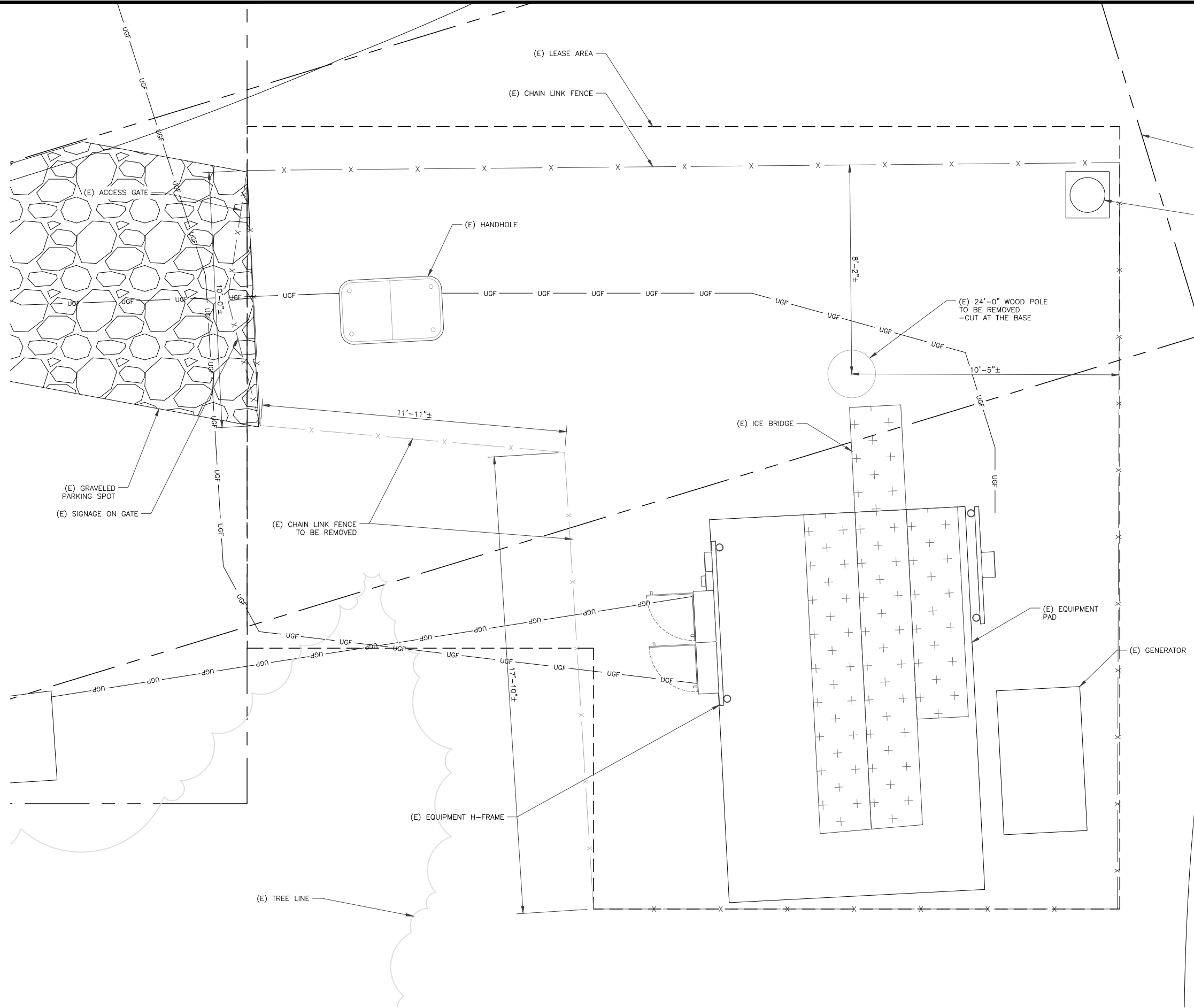
REGISTERED PROFESSIONAL ENGINEER
 90491PE
Christopher J. Scheels
 OREGON
 SEP 8, 2019
 CHRISTOPHER J. SCHEELS
 09/13/2024
 EXPIRES: 06/30/2026

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1 PROPOSED OVERALL SITE PLAN
 SCALE: 1"=30'-0" (FULL SIZE)
 1"=60'-0" (11x17)

SHEET NUMBER: C-1.1
REVISION: 0



SITE PLAN DISCLAIMER:
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CROWN CASTLE
 1500 CORPORATE DRIVE
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GPD Engineering and Architecture
 Professional Corporation
 520 South Main Street, Suite 2531
 Akron, OH 44311
 330.572.2100 Fax 330.572.2101

BU #: 827657
SEASIDE NORTH
 2329 ROYAL VIEW DR
 SEASIDE, OR 97110
 50' MONOPOLE DROP
 AND SWAP
 GPD JOB #: 2022724.90.827657.01

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	DES./QA
A	08/05/2022	JA	PRELIMINARY	BML
B	08/10/2022	JA	REVISED TOWER LOCATION	BML
C	10/28/2022	JA	ADDED CARRIER EQUIPMENT	BML
0	09/13/2024	JA	ISSUED FOR CONST.	BML

REGISTERED PROFESSIONAL ENGINEER
 90491PE
 Christopher J. Schels
 OREGON
 SEP 8, 2015
 CHRISTOPHER J. SCHELS
 09/13/2024
 EXPIRES: 06/30/2026

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1 EXISTING COMPOUND PLAN
 SCALE: 1/2"=1'-0" (FULL SIZE)
 1/4"=1'-0" (11x17)



SHEET NUMBER: **C-2** REVISION: **0**

**BU #: 827657
 SEASIDE NORTH**

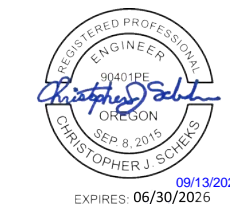
2329 ROYAL VIEW DR
 SEASIDE, OR 97110

50' MONOPOLE DROP
 AND SWAP

GPD JOB #: 2022724.90.827657.01

ISSUED FOR:

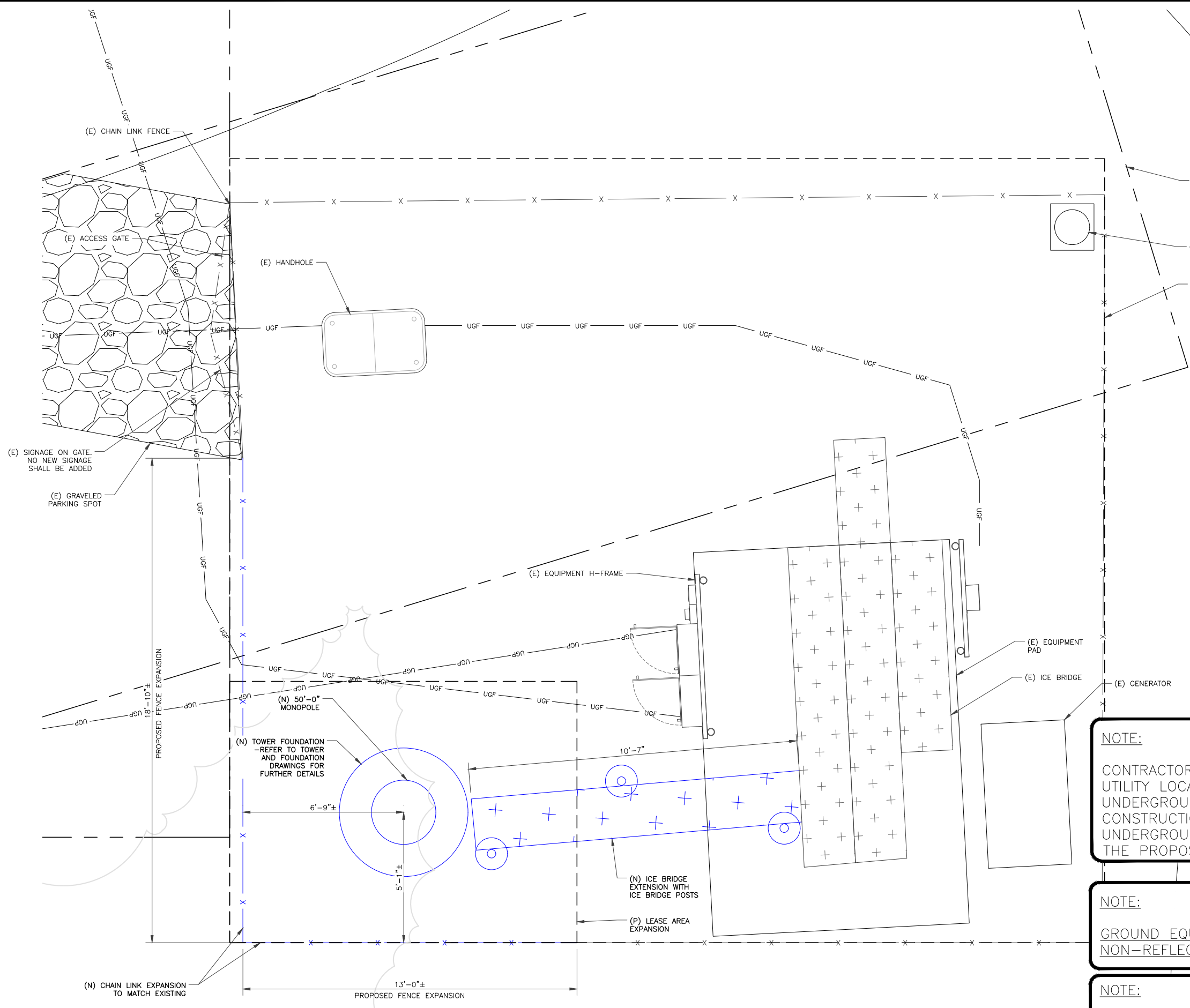
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SHEET NUMBER: C-2.1
REVISION: 0

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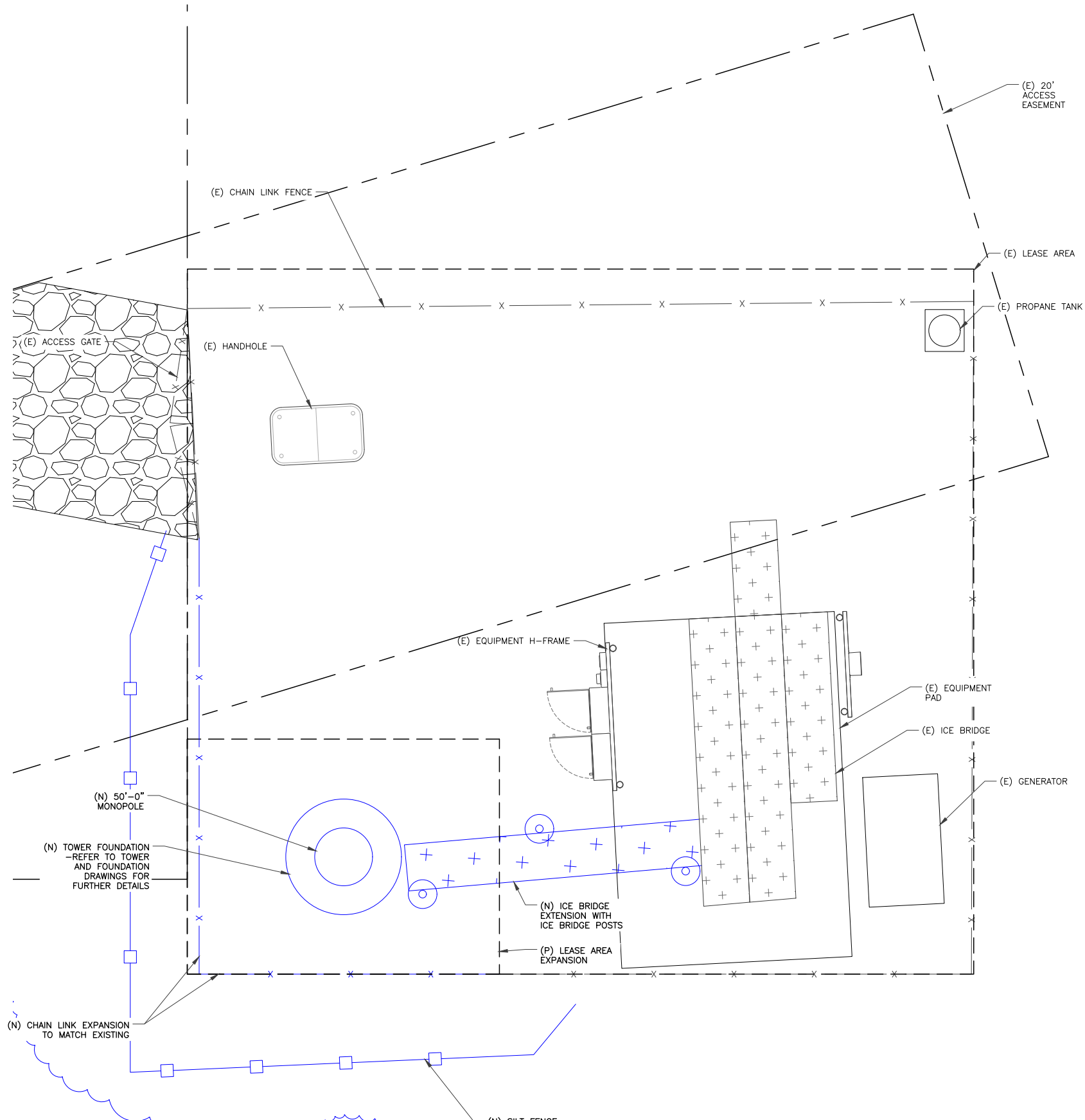
NOTE:
 CONTRACTOR SHALL EMPLOY A PRIVATE UTILITY LOCATE TO IDENTIFY EXISTING UNDERGROUND LINES PRIOR TO ANY CONSTRUCTION. THERE ARE SEVERAL UNDERGROUND LINES IN THE VICINITY OF THE PROPOSED COMPOUND EXPANSION.

NOTE:
 GROUND EQUIPMENT SHALL BE NON-REFLECTIVE COLORS.

NOTE:
 PROPOSED TOWER FOUNDATION TO BE DRILLED PIER ONLY.

1 PROPOSED COMPOUND PLAN
 SCALE: 1/2"=1'-0" (FULL SIZE)
 1/4"=1'-0" (11x17)



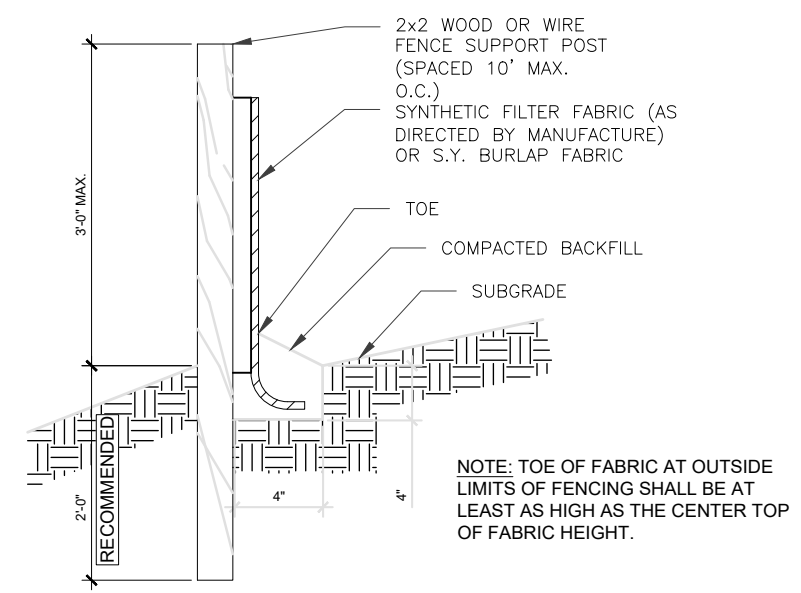


NOTE:
GROUND EQUIPMENT SHALL BE NON-REFLECTIVE COLORS.

NOTE:
PROPOSED TOWER FOUNDATION TO BE DRILLED PIER ONLY.

1 EROSION CONTROL PLAN
SCALE: 3/8"=1'-0" (FULL SIZE)
3/16"=1'-0" (11x17)

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NOTES:

1. THE HEIGHT OF THE SILT FENCE SHALL NOT EXCEED 36 INCHES.
2. THE FILTER FABRIC SHALL BE WOVEN FABRIC AND SHALL BE PURCHASED IN A CONTINUOUS ROLL TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO THE EXISTING TREES.
7. WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM NO. 6 APPLYING.
8. THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.
9. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
10. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
11. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
12. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
13. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

2 SILT FENCE DETAIL
SCALE: NOT TO SCALE

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